

AVILLA



EASTLAKE
STATION

PLANNED
DEVELOPMENT
STANDARDS

NOVEMBER 2016

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1. INTRODUCTION

A. Project Overview

Avilla Eastlake Station is a 27-acre mixed-use community in Thornton featuring for-lease single-story detached and attached homes adjacent to an 7-acre commercial mixed-use center. Located northeast of Washington Street and Washington Center Parkway, the site is approximately 0.5 mile from the Eastlake at 124th rail station that will provide service to Downtown Denver.

Avilla Eastlake Station proposes a maximum of 220 multi-family detached and duplex residences. The development presents future residents with a unique living experience in an alternative housing choice to the traditional options of single-family for-sale residences or large multi-unit rental apartment complexes. Avilla Eastlake Station will combine aspects of single-family living with multi-family-like lease terms and management. The combination of these elements creates a desirable residential option with upscale features and spacious indoor/outdoor living areas maintained by a professional management company, without the mortgage payment and HOA fees of typical single-family communities. The neighborhood will include a pool / spa complex that is accessible to all residents via a central pedestrian greenway. The greenway will also connect to the Farmers High Line Canal Trail to the north and to the commercial mixed-use center to the west.

The commercial mixed-use center is intended to provide area residents with easy access to a variety of uses, such as restaurants, shops, and commercial services, as well as employment opportunities in professional offices or health-related businesses. The commercial mixed-use center will be integrated with the residential community through common branding, site furnishings, architectural elements, and pedestrian connectivity.

B. Guiding Principles

- Create a medium-density residential neighborhood unique in Thornton featuring single-story detached and duplex housing for lease.
- Integrate a variety of uses on the site, including retail, office, and residential with cohesive design elements throughout.
- Ensure the quality of residential and commercial buildings throughout the development.
- Provide pedestrian connectivity between residential and commercial uses.
- Create a central pedestrian greenway that connects to the Farmers High Line Canal Trail and onward to the Eastlake Station.
- Develop high-quality amenities and gathering places for residents, employees and visitors.
- Complement the goals and policies of the Eastlake Station Area Plan.

C. Applicability of Standards

The intent of these Planned Development (PD) Standards is to ensure Avilla Eastlake Station becomes a high-quality community, desired for its innovative housing product, attractive landscape, and proximity to a variety of shops, services, and rapid transit. These standards will promote consistency and quality in materials and form in all aspects of the community, providing minimum standards for every aspect of development. When minimum standards within this document cannot be met, an equal or better design solution must be proposed and presented for review and approval by the master developer and ultimately the City of Thornton. Regulations not specified in the PD Standards shall conform to the most compatible zoning district standards in the City Code at the time of improvement. Minor changes or adjustments to the ODP/CSP and PD Standards that meet the intent of the project may be authorized by administrative amendment as determined by the Development Director.

2. PERMITTED LAND USES

Avilla Eastlake Station consists of three planning areas, shown on the following map, each with a distinct list of permitted uses, all of which shall be in compliance with these PD Standards. The following list of uses is to be considered inclusive, rather than exhaustive. The City may administratively approve a use not listed below that meets the intent of these PD Standards. If a conflict occurs, refer to City Code.

A. Planning Area 1 - Mixed-Use Retail

Planning Area 1 allows for a range of convenient neighborhood uses in proximity to area residents. Uses catering to automobiles, such as drive-in and drive-through restaurants and similar uses, are limited in this planning area to foster a pedestrian environment and encourage the use of public transportation. Uses permitted by right include:

- Amusement - Inside
- Banquet or Reception Center
- Bar, Lounge or Tavern
- Club or Lodge
- Cultural Arts Facility
- Day Care Facility
- Dry Cleaning
- Fitness Center or Club
- Financial Institutions
- Furniture Store
- General Merchandise or Food Store
- Home Improvement Center
- Library
- Liquor Store
- Multi-family Dwelling Units in Mixed-Use Buildings
- Nursery, Garden Shop, and Plant Sales
- Personal Services
- Post Office
- Religious Institution
- Restaurant Without Drive-In or Drive-Through
- Theater

- Accessory Outside Uses:
 - Display of Merchandise
 - Sales
 - Storage
 - Solar Collectors
 - Wind Energy Conversion System

B. Planning Area 2 - Mixed-Use Office

Planning Area 2 permits uses where area residents can work or visit, including professional and medical offices and health and recreation facilities. Uses permitted by right include:

- Financial Institution
- General Office
- Health Club
- Medical Clinic (includes 24-Hr Urgent Care & Similar)
- Medical Office
- Recreation Center

C. Planning Area 3 - Residential Medium

Planning Area 3 allows for a residential neighborhood of detached and duplex homes, ranging from 1-bedroom to 3-bedrooms, with private yards and shared amenities. Uses permitted by right include:

- Single-story Detached Dwellings
- Single-story Duplex Dwellings
- Leasing Office
- Detached Garages
- Recreational Amenities (pool, dog park, etc.)
- Underground Detention / Retention / Water Quality Features
- Accessory Uses:
 - Maintenance Buildings

Planning Areas and Surrounding Zoning



D. Land Use Summary

Planning Area	Acres	Max. Density	Max. Units	Min. FAR
1 - Mixed-Use Retail	1.93	-	60 (1)	2.0
2 - Mixed-Use Office	5.03	-	-	2.0
3 - Residential Medium	20.02	11 Units / Acre	220	-
Grand Total	26.98	-	280	-

(1) Up to 60 dwelling units are allowed in a multi-story, mixed-use building.

3. MIXED-USE DEVELOPMENT STANDARDS

The intent of the mixed-use development standards for Planning Areas 1 and 2 is to develop a commercial mixed-use center with buildings and businesses that are connected to each other and the residential portion of Avilla Eastlake Station, while providing residents with meaningful, enhanced gathering places.

A. Mixed-Use Development Standards for Planning Areas 1 and 2

Building Standards	
Minimum Floor Area Ratio	2.0: FAR is calculated using the total area of all lots within the development based on the CSP or DP. Each individual site or lot does not need to meet the minimum FAR as long as the minimum FAR is met across the entire development.
Maximum Building Height	4-stories, 60-feet
Maximum Site Coverage	70%: when averaged across all lots in the development
Minimum Open Space	30%: hardscape areas including sidewalks, plazas, and decorative paving areas may be counted towards this requirement
Minimum Building and Parking Setbacks	
Washington Street	Buildings and Parking: 30 feet, including 25-foot landscape buffer from back of curb
Washington Center Parkway	Buildings and Parking: 25 feet, including 20-foot landscape buffer from back of curb
North Property Line	Buildings: 20 feet, at least 10 feet of which must be landscape area Parking: 10 feet

B. Enhanced Public Spaces

A node (or nodes) shall provide space and programming elements to promote public gathering, social interaction, leisure opportunities, focal points, and a visual identity to create a strong sense of space. A minimum of 10,000 square feet of outdoor plazas and business patios adjacent to public spaces shall be provided. This area or areas may be provided as a shared space between uses within Planning Areas 2 and 3. A minimum of 2 of the following programming elements shall be located in each of the enhanced public spaces :

- I. Decorative paving
- II. Two benches and trash receptacles
- III. Pedestrian lighting
- IV. Three planters with seasonal landscaping
- V. Kiosk, shelter or trellis
- VI. Public art



Sample Image of Enhanced Public Space

4. MIXED-USE ARCHITECTURAL STANDARDS

A. Building Height and Massing

Facades in excess of 40 feet in length must incorporate architectural features or treatments to diminish apparent building mass.

B. Building Materials and Colors

The exterior materials and colors of commercial mixed-use buildings shall be compatible with those of the residential area, as provided in Section 6.C, below.

Buildings shall use darker colors and heavier stone materials on the lower 3 to 5 feet of buildings to help visually anchor them to the ground.

High quality, low-maintenance, durable materials shall be applied to all buildings.

C. Building Entrances

Building entrances shall be pedestrian-oriented with clearly defined, highly visible customer entrances that include at least 3 of the following features:

- I. Canopies or porticos
- II. Overhangs
- III. Recesses / projections
- IV. Arcades
- V. Raised corniced parapets over the door
- VI. Peaked roof forms
- VII. Arches
- VIII. Outdoor patios
- IX. Display windows
- X. Architectural details such as stone work and moldings that are integrated into the building structure and design
- XI. Integral planters or wing wall that incorporates landscaped areas and/or places for sitting.

D. Windows

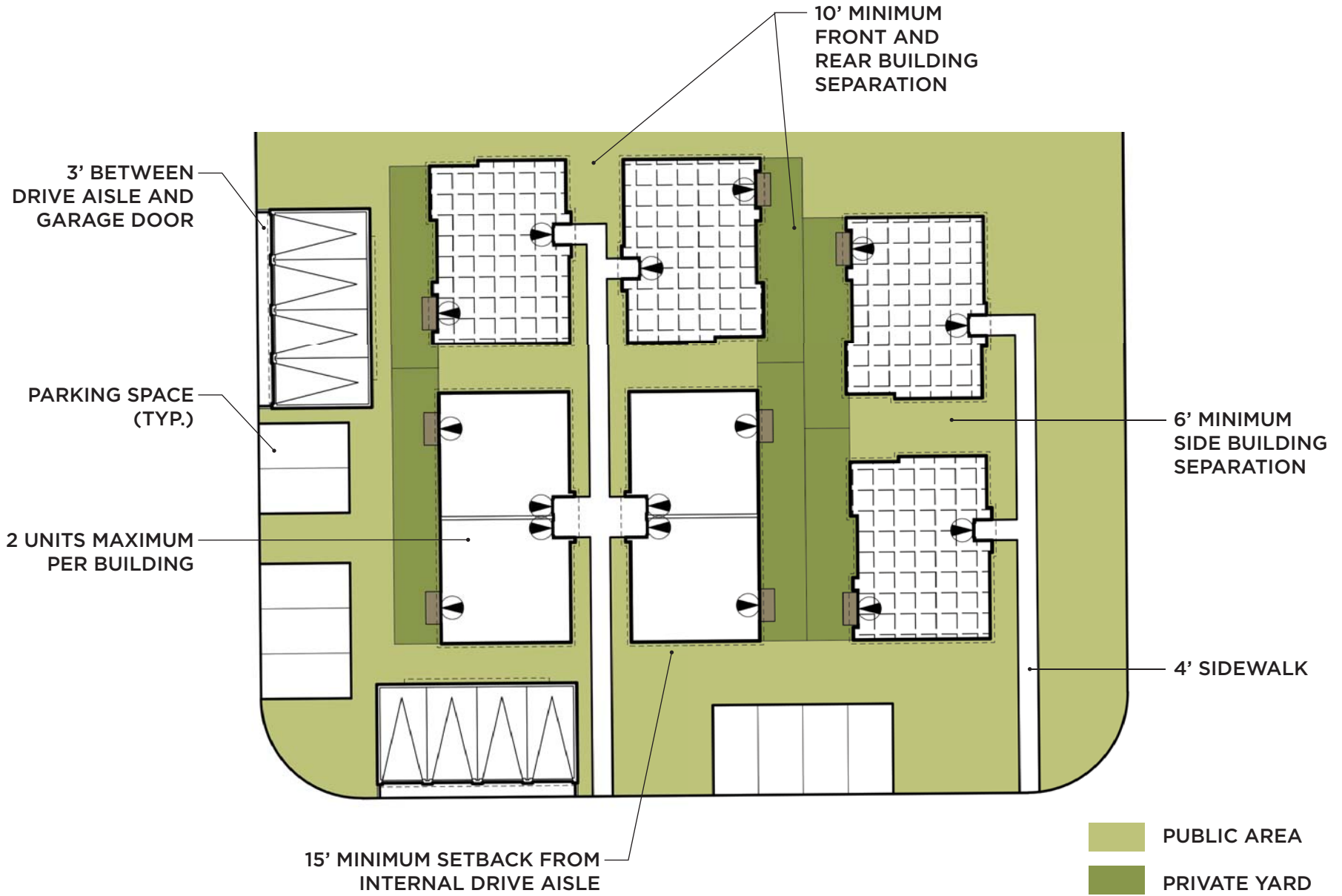
Windows are required in areas where there exists significant pedestrian activity and to break up blank and / or unarticulated walls. Windows shall be for display purposes or to allow for viewing both into and out of the interior of the building. Windows are encouraged to be utilized to activate ground floor spaces.

5. RESIDENTIAL DEVELOPMENT STANDARDS

The intent of the residential development standards is to create an innovative, cohesive and secure community with interconnected, efficient lots that create attractive and comfortable public and private spaces, including landscape areas and recreational amenities.

A. Residential Medium Development Standards for Planning Area 3

Building Standards	
Maximum Density	11.0 units per acre
Minimum Lot Size	3,500 square feet lot area per dwelling unit
Minimum Floor Area	600 square feet of livable space per unit
Maximum Units Per Building	2
Maximum Building Height	1 story, 20 feet
Minimum Front and Rear Building Separation	10 feet
Minimum Side Building Separation	6 feet (per building code)
Minimum Building and Parking Setbacks	
Washington Center Parkway	25 feet from exterior property line to building
Lafayette Street	25 feet from exterior property line to building
North Property Line	20 feet
Internal Drive Aisle	15 feet to building
Garage	3 feet from back of drive aisle/parking curb to garage door face

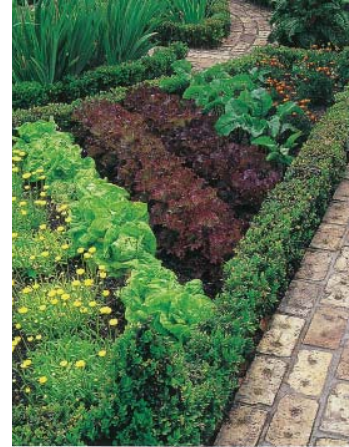


B. Subdivision Quality Enhancements

Avilla Eastlake Station shall provide the following subdivision quality enhancements:

- I. Provide a trail connection and ditch crossing to the Farmers High Line Canal Trail.
- II. Install larger trees and shrubs than required by Code, including evergreens, within a generous buffer at least 20 feet wide along the northern boundary to mitigate noise from the Infrastructure Maintenance Center.
- III. Provide more than two public recreational facilities, in excess of public land dedication required by the City Code. As a for-lease, medium-density community, Avilla Eastlake Station shall exceed public land dedication requirements for multifamily developments. Amenities shall be located, designed and constructed according to the City's Standards and Specifications and other design guidelines. At least three of the following recreational amenities shall be incorporated in the development unless otherwise approved by the City:
 - a. Pool / Spa
 - b. Central Linear Park
 - c. Dog Park
 - d. Picnic Space
 - e. Community Gardens
 - f. Bocce / Shuffleboard
 - g. Playground

Sample Imagery of Quality Enhancements



Edible Gardens

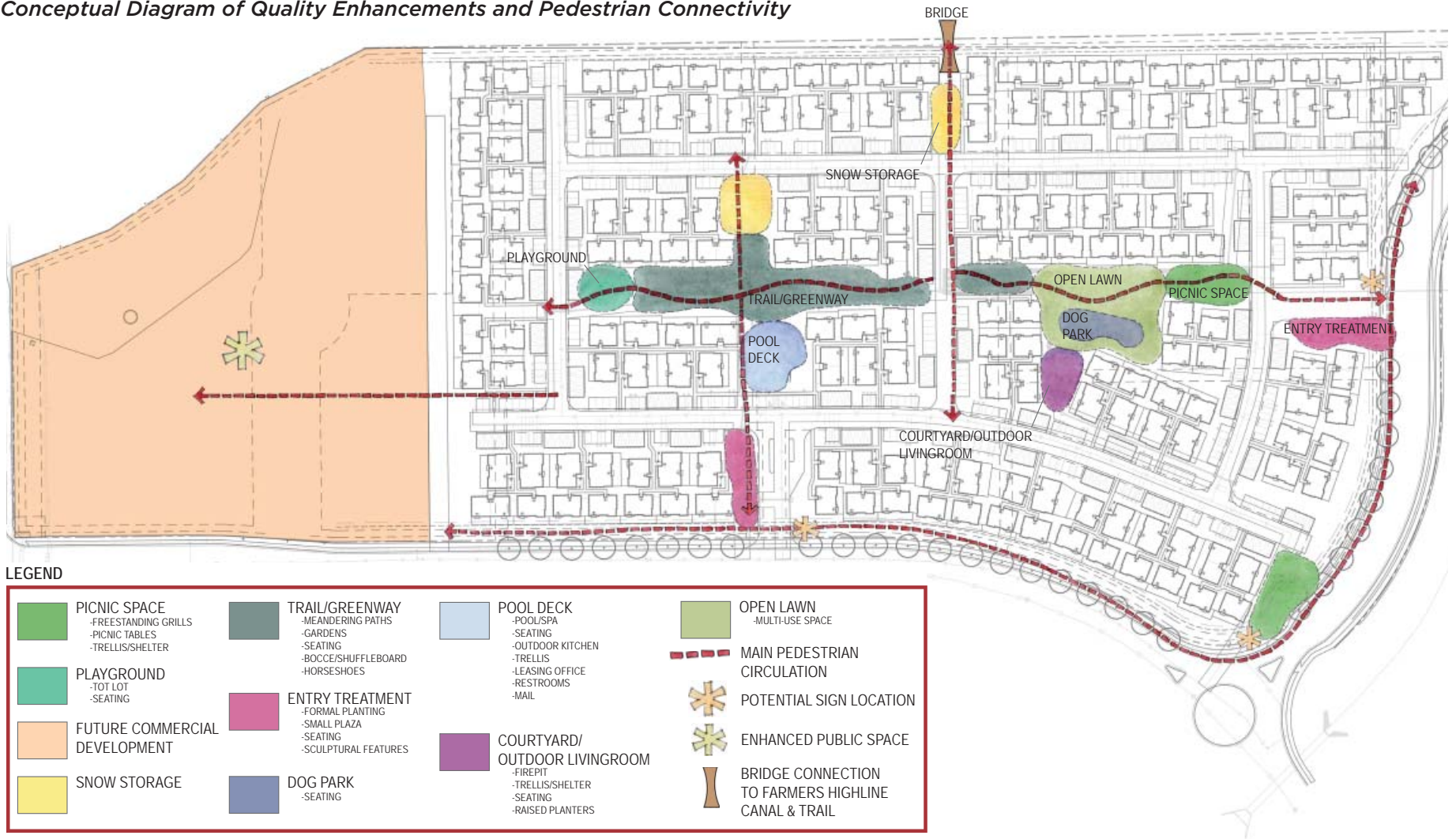


Playground



Pool

Conceptual Diagram of Quality Enhancements and Pedestrian Connectivity



6. RESIDENTIAL ARCHITECTURAL STANDARDS

The intent of the residential architectural standards is to create a high-quality built environment with homes of varied colors, materials, and footprints that create an aesthetically-pleasing and visually-integrated neighborhood. The interior and exterior of all homes will be maintained by the property management company, ensuring a well-kept appearance.

A. Building Massing

- I. All buildings shall provide complex massing configurations with varied wall and roof planes.
- II. Buildings shall have a predominance of horizontal articulation through the use of decorative banding, a change of material and/or color, or sloping roof planes.
- III. All buildings will be single-story.

B. Architectural Elements

Buildings shall employ at least two of the following design items applied consistently along each façade:

- I. Projections
- II. Recesses
- III. Shadow Lines
- IV. Window Patterns
- V. Overhangs
- VI. Patios
- VII. Columns

C. Exterior Walls, Roof Colors and Materials

The exterior walls, roof colors and materials proposed for Avilla Eastlake Station employ earth tones applied to siding, stone, wood trim, and dimensional asphalt shingles, expressed across three main building palettes. The examples on the following page demonstrate acceptable treatments. Actual developed product colors, materials, etc. may vary from the examples shown but must be consistent with this precedent set.

D. Roof Shapes

- I. Buildings shall have a pitched roof with a minimum slope of at least 4:12.
- II. All sloped roofs shall include a minimum 12-inch overhang beyond each major long wall plane of the building, and a minimum 6-inch overhang along gable ends.
- III. On buildings where sloping roofs are the predominant roof type, each building roof shall have at least two distinct roof ridgelines.

E. Windows

- I. All elevations shall contain windows.

F. Garages and Parking Canopies

- I. Garages and parking canopies shall be internalized and screened from adjacent public roadways, to the extent possible.
- II. Garages and canopies shall incorporate similar elements from the homes in order to create a consistent design throughout the neighborhood.

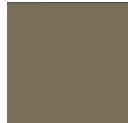
Palette 1



Palette 2



Palette 3



Body Color 1
Manuf: Sherwin Williams 6152
Superior Bronze



Body Color 1
Manuf: Sherwin Williams 2804
Renwick Rose Beige



Body Color 1
Manuf: Sherwin Williams 7681
Tea Light



Body Color 2
Manuf: Sherwin Williams 7549
Studio Taupe



Body Color 2
Manuf: Sherwin Williams 6090
Java



Body Color 2
Manuf: Sherwin Williams 7690
Townhall Tan



Accent Color 1
Manuf: Sherwin Williams 7542
Naturel



Accent Color 1
Manuf: Sherwin Williams 6078
Realist Beige



Accent Color 1
Manuf: Sherwin Williams 7563
Restful White



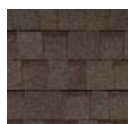
Accent Color 2
Manuf: Sherwin Williams 7027
Well-Bred Brown



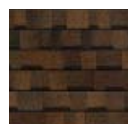
Accent Color 2
Manuf: Sherwin Williams 6048
Terra Brun



Accent Color 2
Manuf: Sherwin Williams 6258
Tricorn Black



Oakridge Shingles
Manuf: Owens Corning
Teak



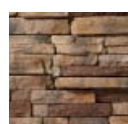
Oakridge Shingles
Manuf: Owens Corning
Brownwood



Oakridge Shingles
Manuf: Owens Corning
Flagstone



Southern Ledge Stone
Manuf: Environmental Stoneworks
Backcountry



Mountain Ledge Stone
Manuf: Environmental Stoneworks
Northwoods

7. COMMUNITY DESIGN STANDARDS

Community design standards play an important role in a well-planned community and shall be applied to all Planning Areas. Community design elements include signage, fencing, and landscaping that are designed and function in an aesthetic, uniform, and effective manner. Design elements should be viewed as a whole package, where each element has a particular function and all of the functions are accommodated within the public space of the community. By pre-planning the community design elements, a theme can be chosen with high quality materials selected. Designing within a theme creates an identifiable and cohesive community.

A. Signage

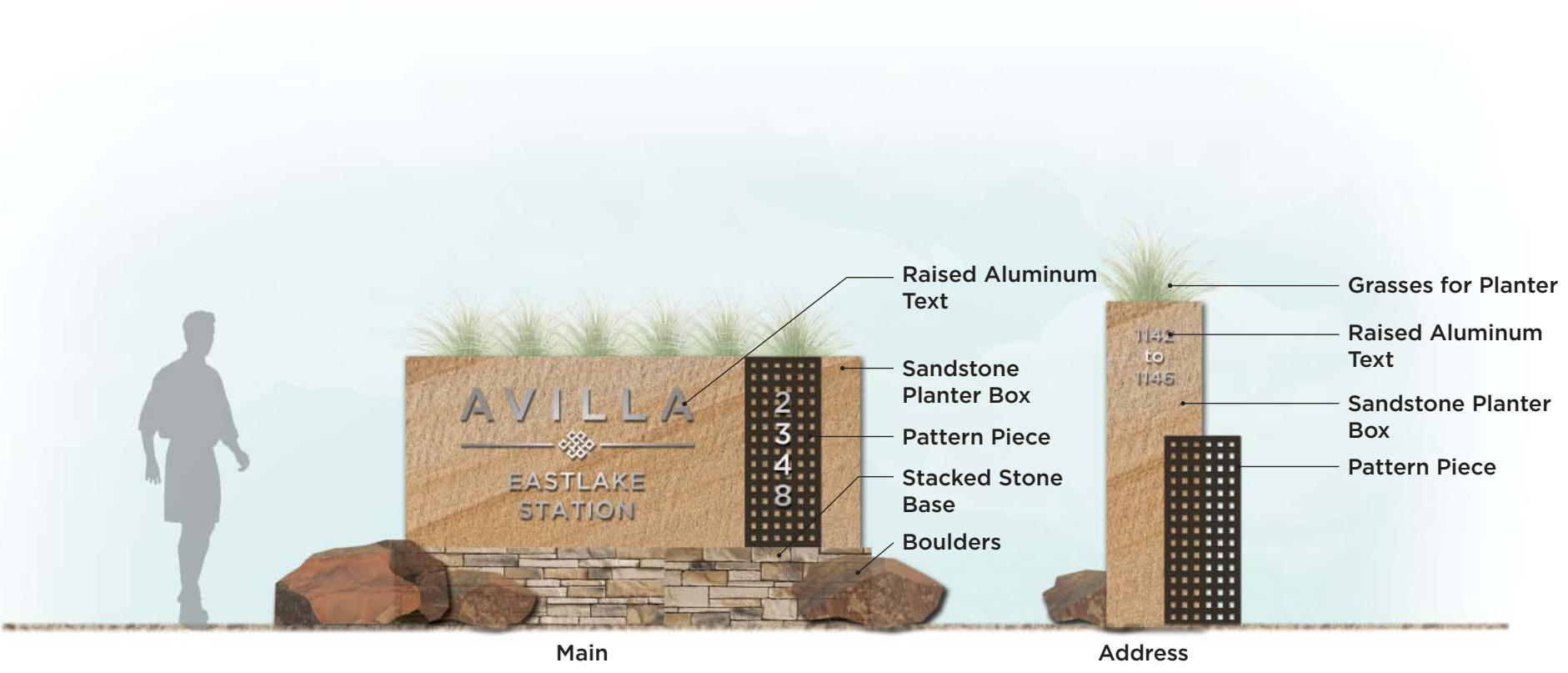
Signage will be designed and applied in a consistent manner in all three planning areas. Final signage designs shall be submitted as part of a comprehensive sign package in conjunction with future CSP's or DP's.

- I. Residential Monumentation
 - a. Community monumentation shall create gateways into the neighborhood that provide identity and create a unique sense of place. Primary residential monumentation will occur at three locations:
 - At the residential entry drive off Washington Center Parkway.
 - At the corner of Washington Center Parkway and Lafayette Street.
 - At the end of the northern residential road that dead ends at Lafayette Street.
 - b. Primary project monuments must not be exactly the same, but will be complimentary and uniform in character, color, form, and material.
 - c. Monumentation materials may include rough cut stone/synthetic stone, smooth stone, various metal types in panel, dome or lattice form, pre-cast caps, etc.
 - d. Final monumentation locations will be provided with subsequent CSP's/DP's.
- II. Commercial Mixed-Use Signage
 - a. All commercial mixed-use signage shall be designed with the architectural theme of the development and shall be consistent with the monumentation for the entire area. Primary commercial mixed-use monumentation will occur at one location:
 - At the corner of Washington Street and Washington Center Parkway.
 - b. A comprehensive signage package shall be submitted with the CSP or DP.
 - Final signage designs shall be reviewed for consistency with the intent of these standards and any discrepancies with City of Thornton Code shall be reviewed with City staff for approval.
 - The sign package shall include plan drawings indicating the type and location of all signage located on site.
 - The sign package shall include detailed drawings depicting height, sign area, setback, lighting / illumination, and materials.
 - c. The following types of signs are allowed: project identification / monument, joint tenant identification, wall mounted, blade, window, fascia / canopy mounted, banner / streetscape pole, and project directories / kiosks. A brief description of each type of allowed sign is located below.
 - Project Identification signs display project name and create entry and gateway into the commercial mixed-use center. At a minimum, one project identification sign shall be provided for each primary entry into the development. Project identification

Proposed Monumentation Locations

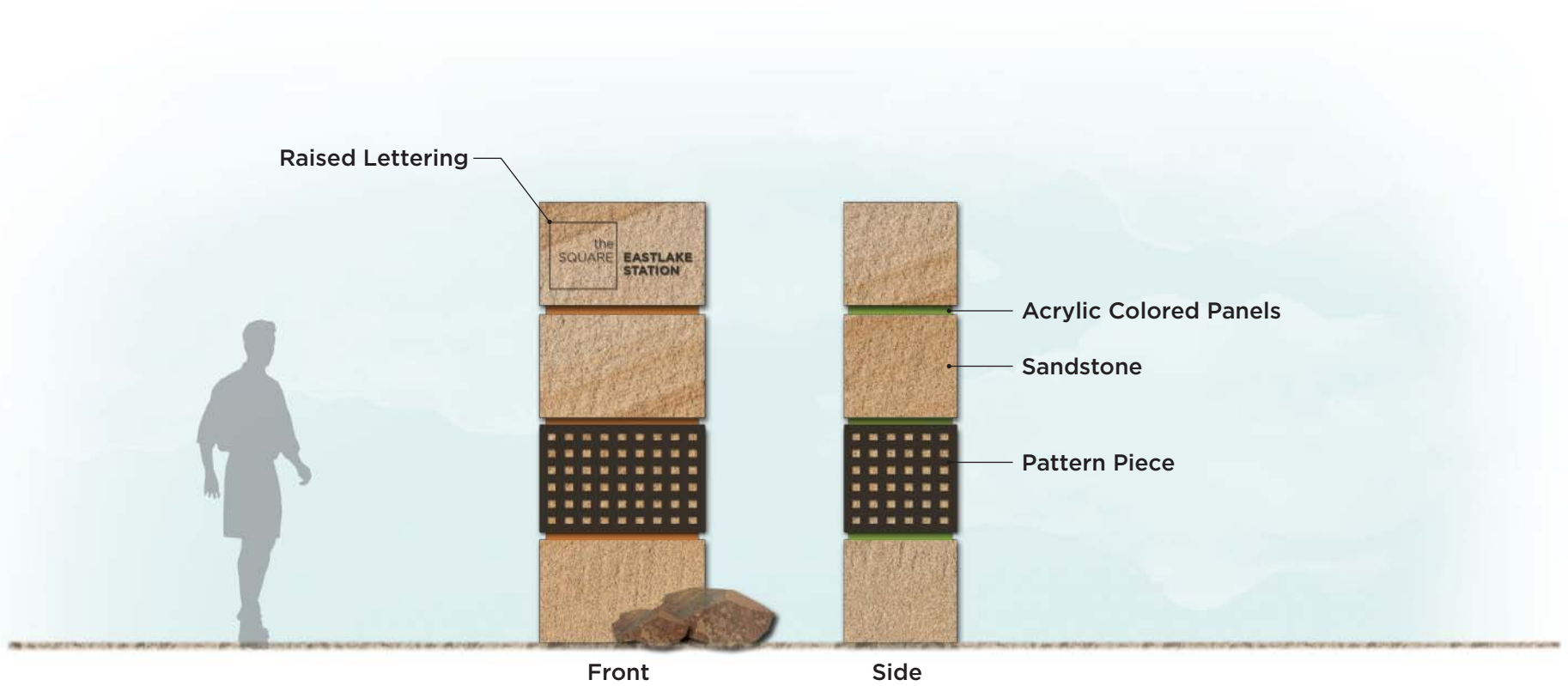


Conceptual Residential Monumentation



*Note: Design intent only. Subject to change.

Conceptual Commercial Mixed-Use Monumentation



signs shall be ground mounted and the primary signage for each development. Project identification signs shall have a maximum height of 8 feet.

- Joint Tenant Signs list tenants, offices, etc. located within each development area. Joint tenant signs shall be ground mounted. Two joint tenant signs shall be allowed per public street frontage that abuts the property. Joint tenant signs shall have a maximum height of 8 feet.
- Wall signs display tenant name and shall be incorporated into the facade of the subject building.
- Project directories and informational kiosks may be located within each development area as appropriate.
- Blade, window, and canopy signs provide interest at the pedestrian level and guide visitors through a project. These sign types shall be incorporated into the architecture of the subject building(s).
- Streetscape banners and flags are allowed and may be located with pedestrian pole lights, incorporated into monumentation, streetscapes, and within pedestrian spaces. Banners and flags are not permanent signage, but may be used for events, seasonal decoration, etc.

B. Residential Fencing

- I. Perimeter fence shall be a minimum of 5-foot tall, semi-open wood grain or solid color metal slat fence with 6-foot tall height sandstone veneer accent columns.
- II. Columns to be placed every 100 feet on center (maximum) along public ROW.
- III. Private fences around residence yard shall be a minimum of 5-foot tall, semi-open wood grain, composite or solid color metal slat fence.
- IV. The entry fence and gates shall use a material palette similar to the architecture and perimeter walls, with the gates being primarily composed of tubular steel, steel panels, wrought iron, or similar.
- V. The pool fence shall be consistent to the entry fence and gates.



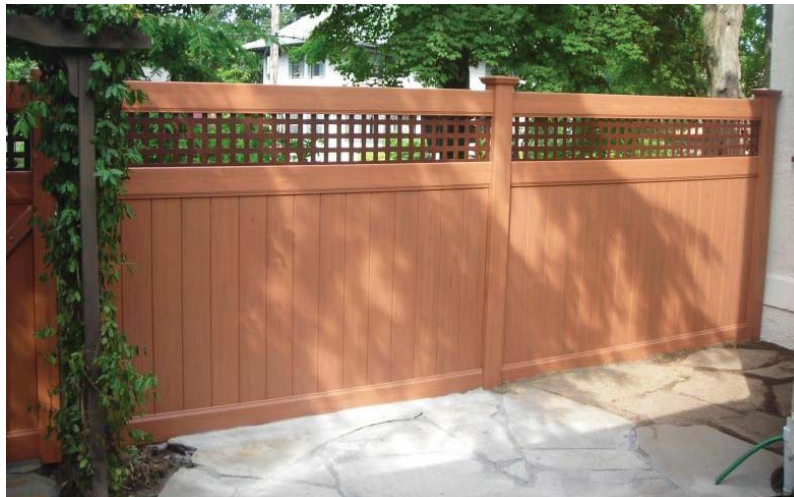
Sample Image of Private Yard Fence

C. Lighting

- I. No lighting on any building site, shall cast glare onto adjacent or neighboring properties or streets.
- II. Area light poles shall be used to light streets and parking lots.
- III. Pole lights used to light any parking areas shall be downcast cut-off type fixtures not to exceed 25 feet in height (total height includes pole, light fixture, and base).
- IV. Maximum 12-foot tall pedestrian light poles and/or bollards shall be used to light walks and outdoor amenity spaces.
- V. Built-in wall/step lights and floodlights can also be used in amenity spaces as accent lighting.
- VI. All light fixtures throughout the site shall be of a similar style and compliment the site furnishings.
- VII. Building mounted lighting fixtures shall be fully shielded and directed downward or towards the building on which it is attached.



Design Inspiration for Lighting



Sample Image of Private Yard Fence



*Design Inspiration for Columns
Along Perimeter Fence*

D. Site Furnishings

- I. All site furnishings used throughout Avilla Eastlake Station shall be of a similar style.
- II. Site furnishings shall be modern and inviting.
- III. Furnishing materials shall be a combination of metal and wood or composite.

E. Landscape

- I. A central greenway within walking distance of all homes shall link various recreational amenities.
- II. The central greenway shall provide trails that connect to the commercial mixed-use center, perimeter sidewalks, and the Farmers High Line Canal Trail.
- III. Planting shall incorporate a variety of colors, textures and seasonal interest.
- IV. Planting near main entrances and around key amenity areas shall be more formal and dense.
- V. A combination of large cobble, smaller rock mulch and wood mulch shall be used within shrub beds to create swaths of different ground textures.
- VI. Pockets of plantings to be used around the building foundations shall create visual breaks.
- VII. Perennials and annuals shall be used near entry monuments and building entrances for pops of seasonal color.
- VIII. A cohesive planting palette shall be applied to all planning areas. Plant species used in the residential development shall be incorporated into the commercial mixed-use center.
- IX. Artificial turf is allowed in private fenced yards in the residential development.

Sample Images of Site Furnishings



Seating



Seating



Planters



Planters

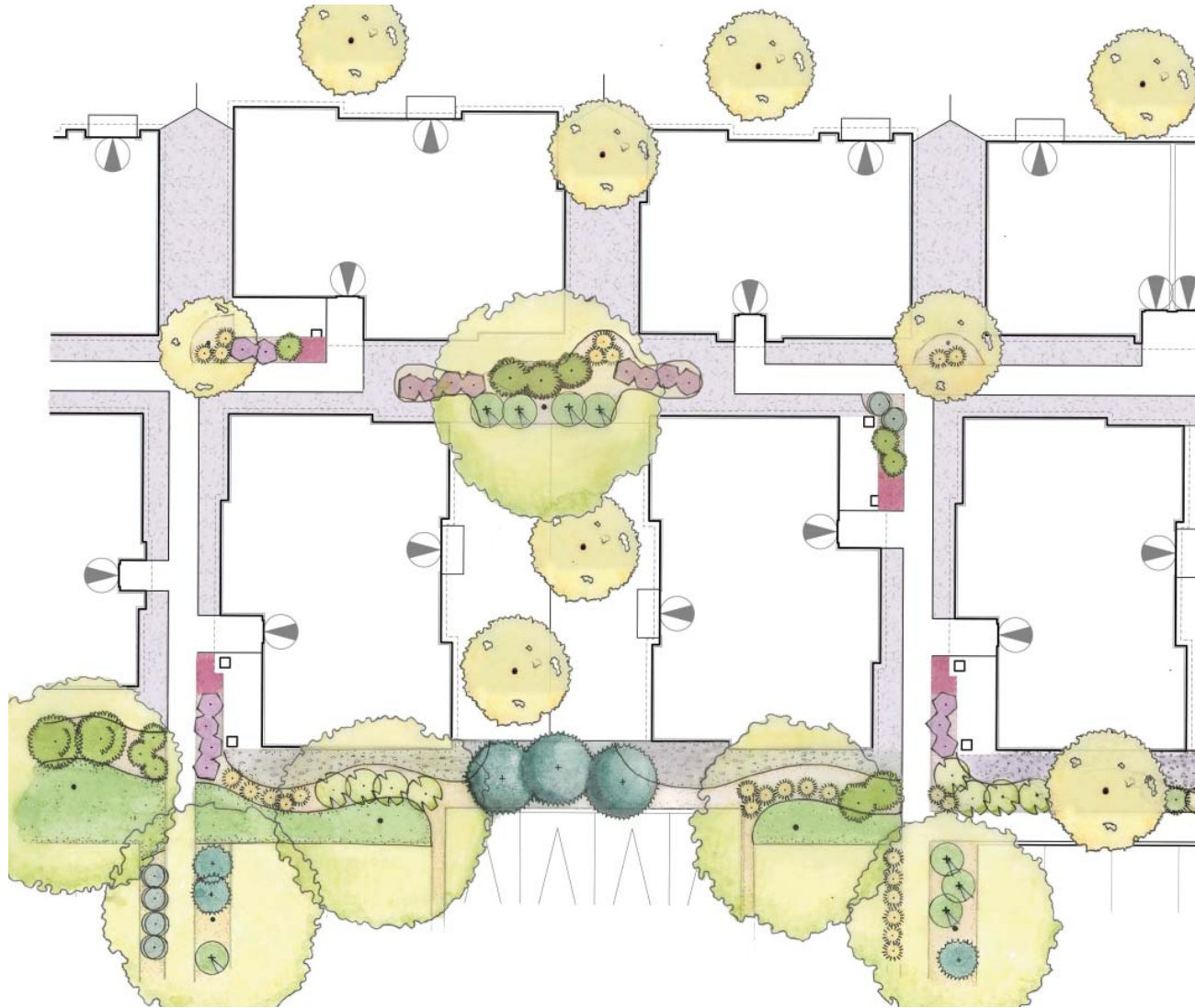


Trash Receptacle

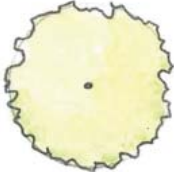











Bike Rack

Typical Foundation Planting for Planning Area 3



LEGEND

	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	EVERGREEN SHRUB
	DECIDUOUS SHRUB
	ORNAMENTAL GRASSES
	COBBLE
	PERENNIAL BED W/ WOOD MULCH
	SHRUB BED W/ ROCK MULCH
	LAWN

F. Circulation and Parking

Avilla Eastlake Station shall provide an efficient street design for convenient traffic patterns and parking access and a cost-effective infrastructure plan. The circulation network shall ensure safe pedestrian connections to recreational amenities and between the residential and commercial mixed-use areas of the development.

I. Circulation

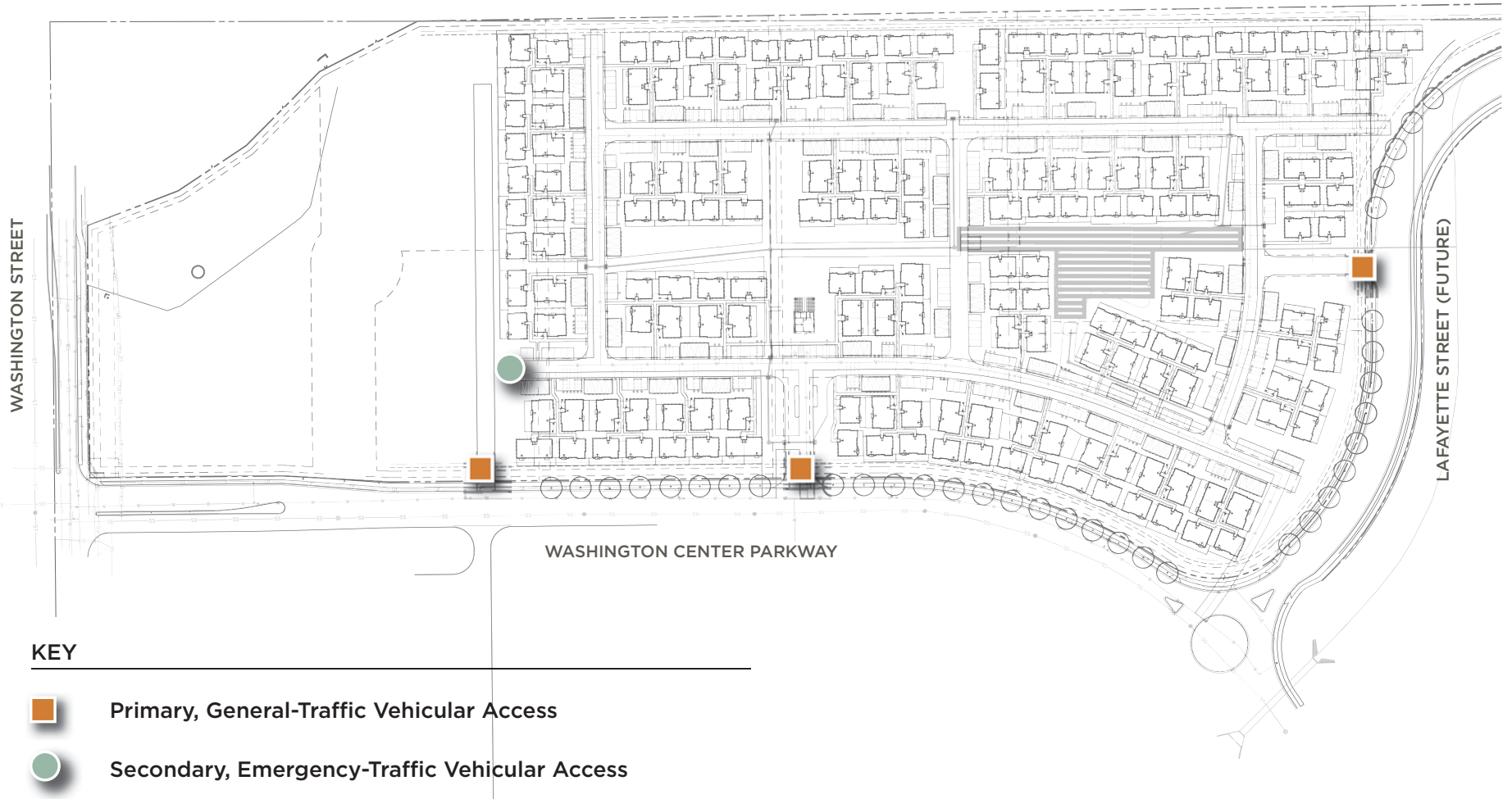
- a. Two vehicular accesses shall be provided into the residential development, as illustrated at right, including one from Washington Center Parkway and one from Lafayette Street.
- b. A primary general-traffic, vehicular access point for the commercial mixed-use center shall be provided from Washington Center Parkway at least 300 feet from Washington Street.
- c. A secondary, emergency-traffic vehicular access point shall be provided from the southern east-west road through the residential development.
- d. Pedestrian walks shall be provided in the central greenway, connecting to perimeter sidewalks, the commercial mixed-use center, and the Farmers High Line Canal Trail.
- e. 4-foot attached sidewalks shall be provided in the residential development as needed to connect to the central greenway and perimeter sidewalks.
- f. Pedestrian circulation in the commercial mixed-use center shall be safe and efficient, linking residential and non-residential areas to enhanced public spaces.

II. Parking

- a. Parking in Planning Areas 1 and 2 shall meet City of Thornton Municipal Code Requirements.
- b. Parking in Planning Area 3 shall be provided in the following quantities:
 - One space for each 500 square feet of floor area, up to a maximum of three for each dwelling unit.
 - One guest space shall be provided for every five dwelling units and shall be distributed throughout the site.
- c. Garages shall count toward the required parking spaces.
- d. Accessible parking spaces shall meet the requirements in the Code.

Proposed Vehicular Access Points

FARMERS HIGH LINE CANAL & TRAIL



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STATION